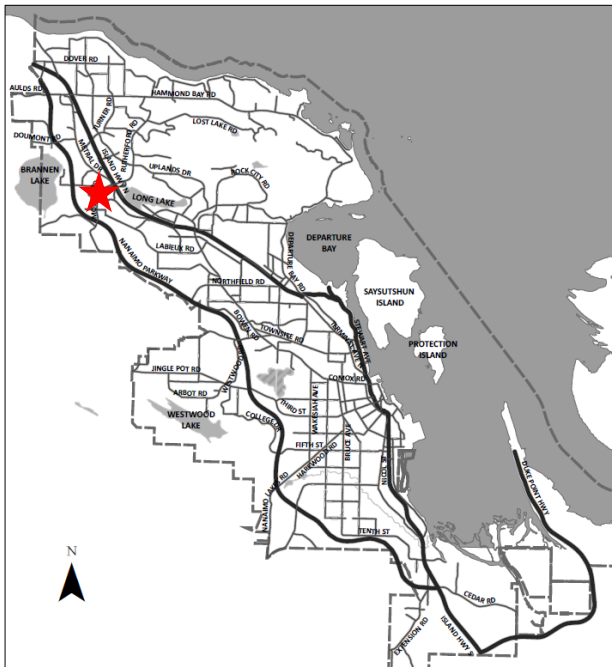


DATE August 18, 2026

AUTHORED BY MORGAN PAIEMENT, PLANNER II, CURRENT PLANNING

SUBJECT DEVELOPMENT PERMIT APPLICATION NO. DP1403 – 4951
JORDAN AVENUE



Proposal:

A multi-tenant light industrial development

Zoning:

I2 –Light Industrial

City Plan Land Use Designation:

Light Industrial

Development Permit Areas:

DPA8 – Form and Character

Lot Area:

6,608.89m²

DP



OVERVIEW

Purpose of Report

To present for delegated approval, a development permit application for a multi-tenant light industrial development at 4951 Jordan Avenue.

Recommendation

To issue Development Permit DP1403 to permit a multi-tenant light industrial development at 4951 Jordan Avenue.

BACKGROUND

A development permit application, DP1403, was received from Momentum Design Build, on behalf of Hazelwood Holdings Ltd., to permit a multi-tenant light industrial development at 4951 Jordan Avenue.

Subject Property and Site Context

The subject property is located in the Pleasant Valley/Rutherford Neighbourhood, between the Nanaimo Parkway and the Island Highway. The property is bound by Jordan Avenue to the northeast, Mostar Road to the west, and the Coca-Cola Bottling Limited Nanaimo Distribution Centre and Jordan Avenue Park to the south. The lot is currently undeveloped and slopes downhill towards the south property line.

The surrounding neighbourhood is a mix of residential and industrial uses. Adjacent properties include single residential dwellings across Mostar Road to the west, Jordan Avenue Park to the southeast, and a variety of industrial uses.

DISCUSSION

Proposed Development

The proposed development is a three-storey multi-tenant light industrial building with a gross floor area of 3,666.9m². The ground floor is proposed for warehouse space, with accessory retail and office uses on the second and third floors.

Site Design

The site is accessed by two vehicle entrances from Jordan Avenue. Parking is provided in front of the building (to the north and east) and loading areas are provided to the rear of the building (to the south). All of the required parking is provided in accordance with the "Off-Street Parking Regulations Bylaw 2018 No. 7266" and excess parking (20 spaces) will be permeable. The Parking Bylaw requires 18 parking spaces (at a rate of 1 space per 200m² of gross floor area). 37 parking spaces are provided, of which two are designated accessible. Three loading spaces are required, and six loading spaces have been proposed. No short-term bicycle parking spaces are required, however four long-term bicycle parking spaces are required and are proposed on the

ground floor of the building. Sidewalks have been provided around the building to facilitate pedestrian movement.

Building Design

The proposed building is rectangular with one angled side parallel to Jordan Avenue, and a flat roof. Exterior finishes include vertical metal cladding, painted fibre cement accent panels, and steel trim. Three-storeys are visible on the south side of the building and two-storeys are visible on the north and east sides. Canopies are provided over entrances and windows have been incorporated on all building faces with canopies over windows on the upper floors.

Landscape Design

Landscaping is proposed around the perimeter of the site and includes a mix of evergreen and deciduous trees, shrubs, groundcover, and a decorative stonescape feature with landscape boulders. Some vegetation and trees are proposed to be retained along the south boundary of the site adjacent to Jordan Avenue Park. An outdoor employee amenity space has been provided near the southeast corner of the building, including outdoor picnic tables, a timber pergola, and bollard lighting. A rooftop patio has also been provided as a common amenity space for employees. A waste management enclosure is proposed in the southeast corner of the site and is designed to accommodate three streams of waste. A painted pedestrian walkway is provided between the building and the waste enclosure. Two concrete walls with guardrails and two block landscape walls are proposed to manage grade changes. Several existing concrete walls with chain link fence are proposed to be retained.

Design Advisory Panel

The Design Advisory Panel (DAP), at its meeting held on 2025-DEC-11, accepted DP1403 as presented and provided the following recommendations:

- Consider rough-in for solar;
- Consider incorporating end-of-trip services, such as showers;
- Consider installing wheel stops at the north entrance;
- Consider solar shading elements, such as metal awnings, canopies, or screens on upper floors;
- Consider distinguishing units by using varied door surround colours;
- Consider providing a safe pedestrian connection to the garbage enclosure;
- Consider enhancing the façade with additional visual interest, particularly at the Jordan Avenue and Mostar Road corner;
- Consider integrating West Coast forest-themed landscape elements throughout the site, with emphasis on the northwest corner; and
- Consider screening the amenity area.

The applicant subsequently submitted revised plans in response to the DAP recommendations, including the following key design revisions and clarification:

- Addition of rough-ins for solar;
- Addition of wheel stops at the north entrance;
- Addition of steel trim above the windows to provide solar shading;
- Addition of colours around the entrance doors to distinguish units;
- Addition of a painted pedestrian connection from the building to the garbage enclosure;

- Addition of a cedar timber pergola over the outdoor amenity area and plantings to screen the amenity space;
- Clarification that the northwest corner of the site will consist of native forest tree, shrub, and groundcover planting with a beach rock and boulder accents adjacent to the offsite sidewalk; and
- Considered end-of-trip facilities such as showers but determined to leave this for future improvements if desired.

The proposed development substantially meets the Form and Character Design Guidelines by locating loading areas to the rear of the building, providing solar shading devices over windows, distinguishing units with different colours, being functional and cohesively designed for intended light industrial use, and providing an employee amenity space. Staff recommend approval of the development permit.

SUMMARY POINTS

- Development Permit DP1403 is for a multi-tenant light industrial development at 4951 Jordan Avenue.
- The proposed development substantially meets the Form and Character Design Guidelines.
- No variances are proposed.
- Staff recommend approval of the application.

ATTACHMENTS

ATTACHMENT A: Permit Conditions
ATTACHMENT B: Subject Property Map
ATTACHMENT C: Site and Parking Plans
ATTACHMENT D: Building Elevations and Details
ATTACHMENT E: Building Renderings
ATTACHMENT F: Landscape Plan and Details

Submitted by:

Morgan Paiement
Planner II, Current Planning

Concurrence by:

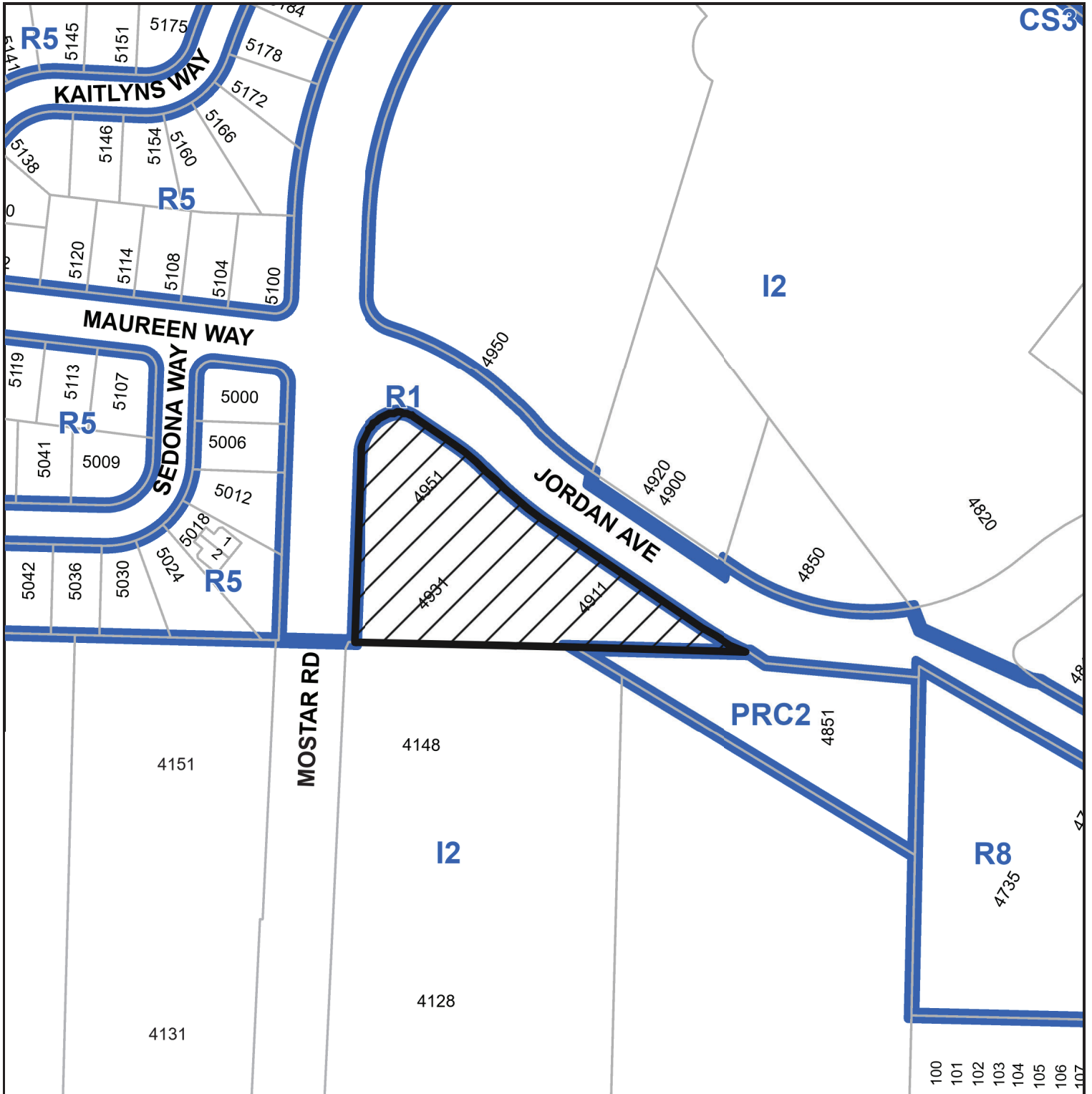
Lainya Rowett
Manager, Current Planning

ATTACHMENT A PERMIT CONDITIONS

CONDITIONS OF PERMIT

1. The subject property shall be developed in substantial compliance with the Site and Parking Plans prepared by Alvin Reinhard Fritz Architect Inc., dated 2026-JUL-22 and dated 2026-JUL-29, as shown on Attachment C.
2. The subject property shall be developed in substantial compliance with the Building Elevations and Details, prepared by Alvin Reinhard Fritz Architect Inc. dated 2026-JUL-22, as shown on Attachment D.
3. The subject property shall be developed in substantial compliance with the Landscape Plan and Details prepared by MacDonald Gray, dated 2026-JUN-04 and dated 2026-JUL-09, as shown on Attachment F.
4. An itemized landscape cost estimate prepared by a qualified landscape professional shall be submitted with the building permit application.
5. A landscape security deposit equal to 100% of the landscape cost estimate, to a maximum of \$100,000, shall be provided prior to building permit issuance.

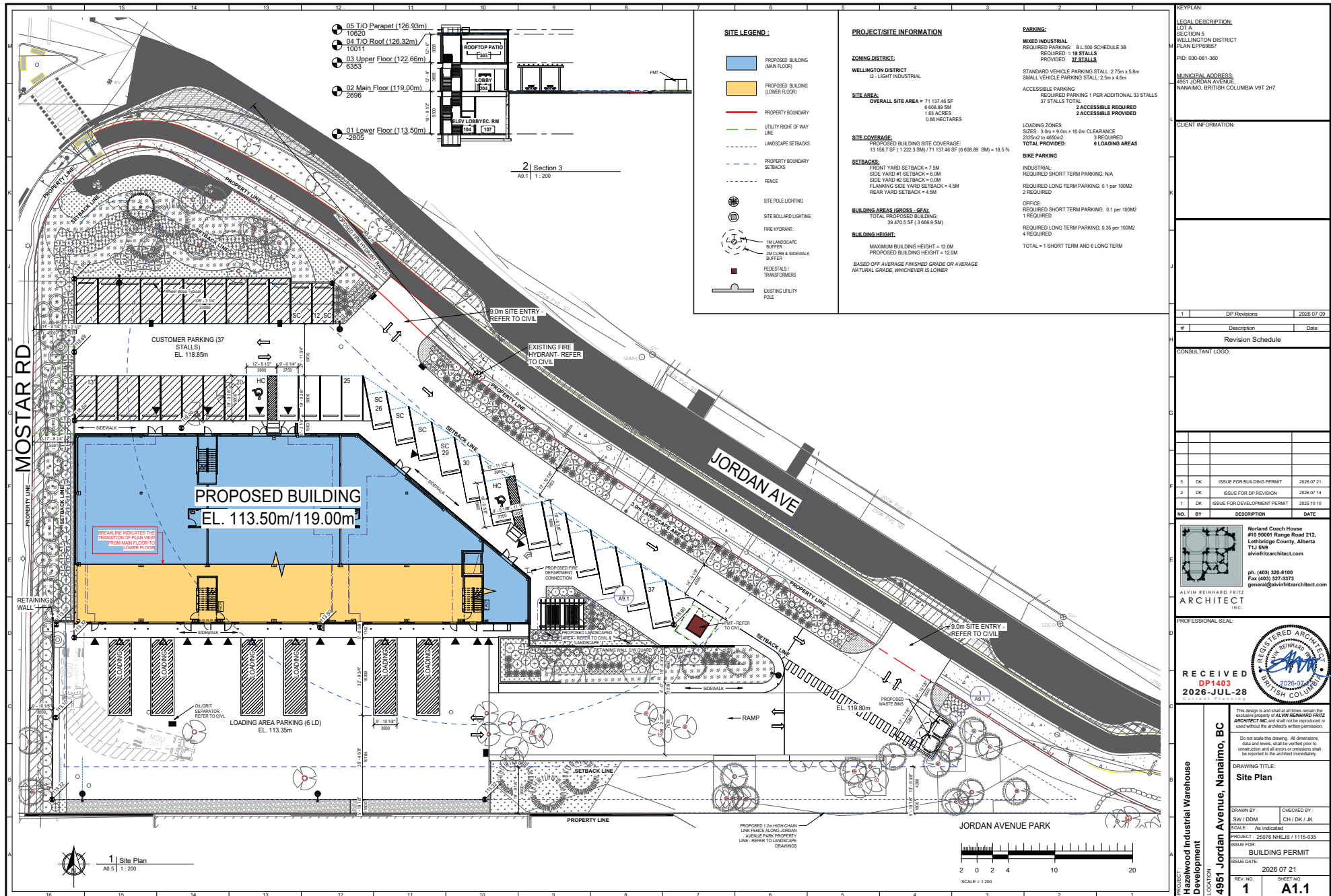
ATTACHMENT B
SUBJECT PROPERTY MAP



 4951 JORDAN AVENUE

ATTACHMENT C SITE AND PARKING PLANS

Page 1 of 2

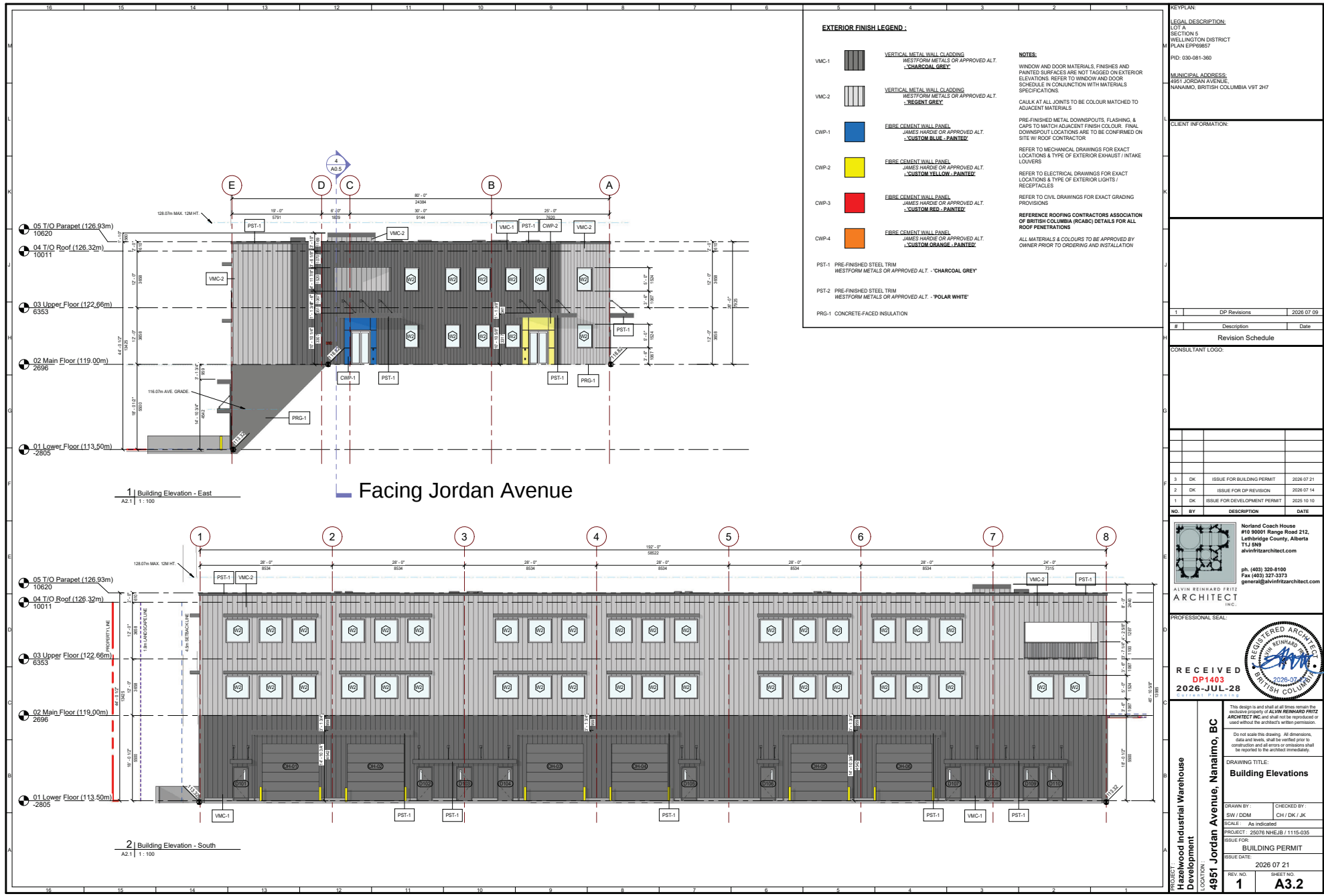




ATTACHMENT D BUILDING ELEVATIONS AND DETAILS

Page 1 of 2





ATTACHMENT F LANDSCAPE PLAN AND DETAILS



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4951 Jordan Avenue
Hazelwood Holdings Ltd.
Nanaimo, BC

LANDSCAPE ARCHITECTURE
PLAN

Date: July 9, 2025
Drawn: CM
Checked: CM
Scale: 1:200 metric
Project Number: 25-0374
Drawing Number: L1 of 5

REVISION	SCHEDULE	NOTES
1	10SEP2025	Draft DP
2	15SEP2025	Issued for DP
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5	01JUN2026	Reissued for DP
6	04JUN2026	Reissued for DP
7	18JUN2026	Issued for BP
8	09JUL2026	Reissued for BP & BP

RECEIVED
DP1403
2026-JUL-13
Current Planning

GENERAL NOTES

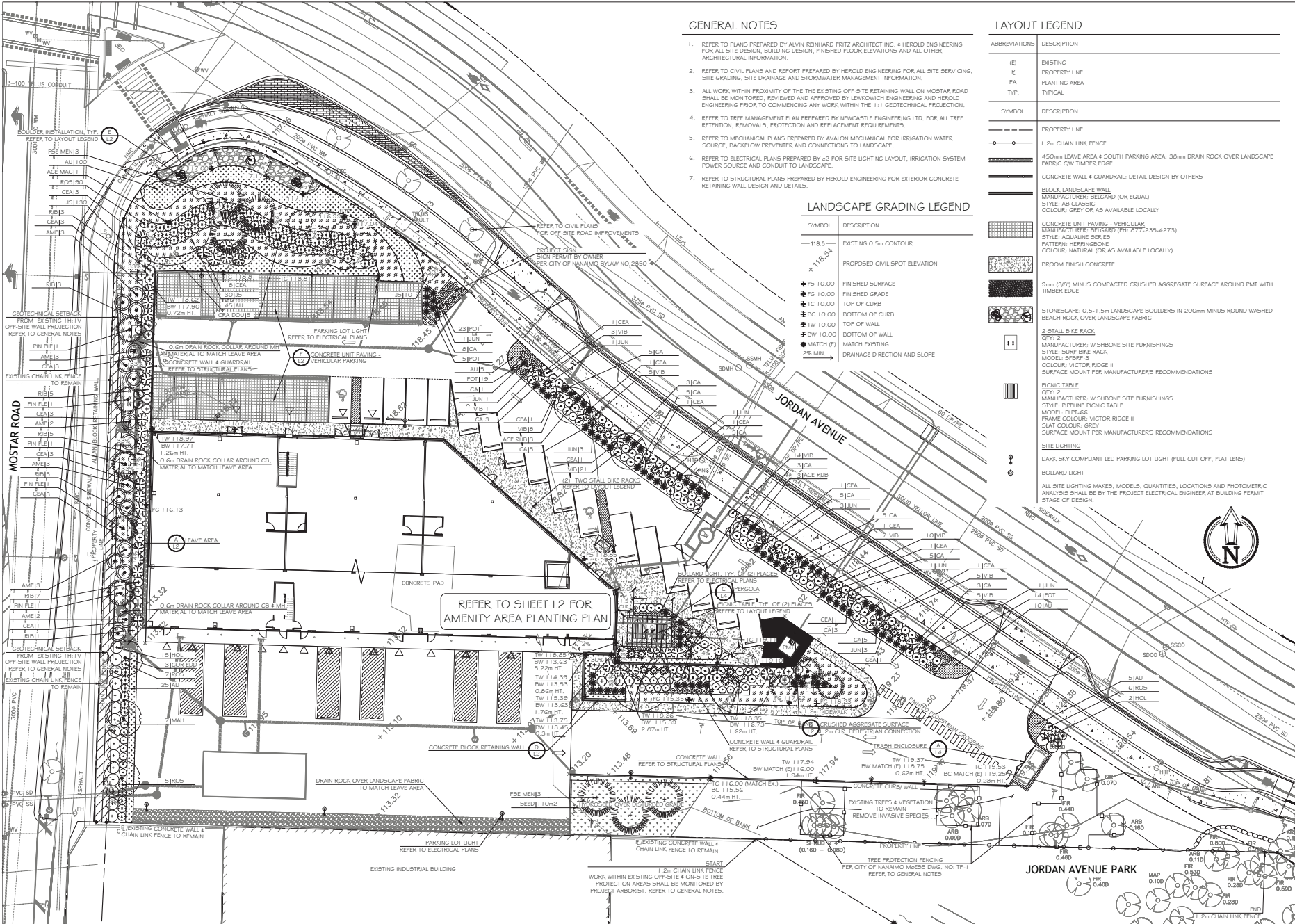
1. REFER TO PLANS PREPARED BY ALVIN REINHARD FRITZ ARCHITECT INC. & HEROLD ENGINEERING FOR ALL SITE DESIGN, BUILDING DESIGN, FINISHED FLOOR ELEVATIONS AND ALL OTHER ARCHITECTURAL INFORMATION.
2. REFER TO CIVIL PLANS AND REPORT PREPARED BY HEROLD ENGINEERING FOR ALL SITE SERVICING, SITE GRADING, SITE DRAINAGE AND STORMWATER MANAGEMENT INFORMATION.
3. ALL WORK WITHIN PROXIMITY OF THE EXISTING OFF-SITE RETAINING WALL ON MOSTAR ROAD SHALL BE MONITORED, REVIEWED AND APPROVED BY LANDKOR ENGINEERING AND HEROLD ENGINEERING PRIOR TO COMMENCING ANY WORK WITHIN THE 1:1 GEOTECHNICAL PROJECTION.
4. REFER TO TREE MANAGEMENT PLAN PREPARED BY NEWCASTLE ENGINEERING LTD. FOR ALL TREE RETENTION, REMOVALS, PROTECTION AND REPLACEMENT REQUIREMENTS.
5. REFER TO MECHANICAL PLANS PREPARED BY AVALON MECHANICAL FOR IRRIGATION WATER SOURCE, BACKFLOW PREVENTER AND CONNECTIONS TO LANDSCAPE.
6. REFER TO ELECTRICAL PLANS PREPARED BY E2 FOR SITE LIGHTING LAYOUT, IRRIGATION SYSTEM POWER SOURCE AND CONDUIT TO LANDSCAPE.
7. REFER TO STRUCTURAL PLANS PREPARED BY HEROLD ENGINEERING FOR EXTERIOR CONCRETE RETAINING WALL DESIGN AND DETAILS.

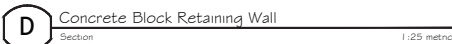
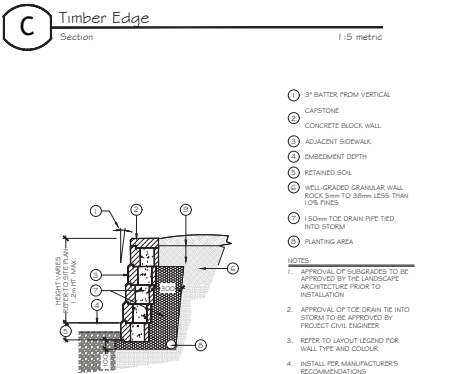
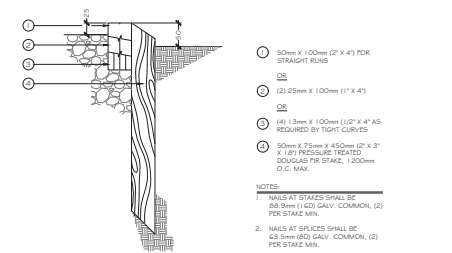
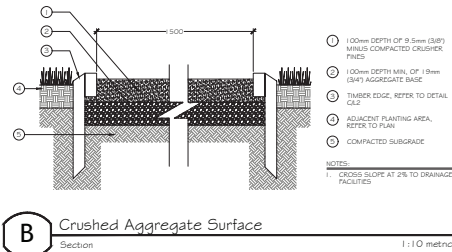
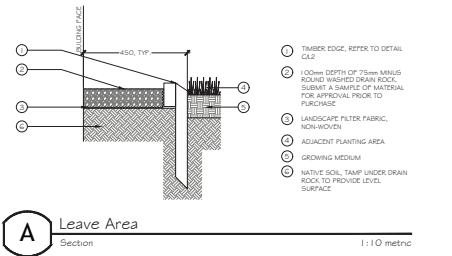
LANDSCAPE GRADING LEGEND

SYMBOL	DESCRIPTION
---	EXISTING 0.5m CONTOUR
---	PROPOSED CIVIL SPOT ELEVATION
+	FINISHED SURFACE
+	FINISHED GRADE
+	TOP OF CURB
+	BOTTOM OF CURB
+	TOP OF WALL
+	BOTTOM OF WALL
+	MATCH (E)
+	2% MIN.

LAYOUT LEGEND

ABBREVIATIONS	DESCRIPTION
ID	EXISTING
E	PROPERTY LINE
PA	PLANTING AREA
TP	TYPICAL
SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	1.2m CHAIN LINK FENCE
---	450mm LEAVE AREA & SOUTH PARKING AREA: 30mm DRAIN ROCK OVER LANDSCAPE FABRIC ON TIMBER EDGE
---	CONCRETE WALL & GUARDRAIL. DETAIL DESIGN BY OTHERS
---	BLOCK LANDSCAPE WALL
---	MANUFACTURER: BEECHER (OR EQUAL)
---	STYLE: AB CLASSIC
---	COLOR: GREY OR AS AVAILABLE LOCALLY
---	CONCRETE UNIT PAVING - VEHICULAR
---	MANUFACTURER: BEECHER (PRT 2377-235-4273)
---	STYLE: AQUALINE SERIES
---	PATTERN: HERRINGBONE
---	COLOR: NATURAL (OR AS AVAILABLE LOCALLY)
---	BROOM FINISH CONCRETE
---	9mm (3/8") MINUS COMPACTED CRUSHED AGGREGATE SURFACE AROUND PMT WITH TIMBER EDGE
---	STONECRAFT: 0.5-1.5m LANDSCAPE BOULDERS IN 200mm MINUS ROUND WASHED BEACH ROCK OVER LANDSCAPE FABRIC
---	2-STALL BIKE RACK
---	QTY: 2
---	MANUFACTURER: WISHBONE SITE FURNISHINGS
---	STYLE: SURF BIKE RACK
---	MODEL: SRBP-3
---	COLOR: VICTOR RIDGE II
---	SURFACE MOUNT PER MANUFACTURER'S RECOMMENDATIONS
---	PICNIC TABLE
---	QTY: 2
---	MANUFACTURER: WISHBONE SITE FURNISHINGS
---	STYLE: PIPELINE PICNIC TABLE
---	MODEL: PPT-66
---	FRAME COLOR: VICTOR RIDGE II
---	SLAT COLOR: GREY
---	SURFACE MOUNT PER MANUFACTURER'S RECOMMENDATIONS
---	SITE LIGHTING
---	DARK SKY COMPLIANT LED PARKING LOT LIGHT (FULL CUT OFF, FLAT LENS)
---	BOLLARD LIGHT
---	ALL SITE LIGHTING MAKES, MODELS, QUANTITIES, LOCATIONS AND PHOTOMETRIC ANALYSIS SHALL BE BY THE PROJECT ELECTRICAL ENGINEER AT BUILDING PERMIT STAGE OF DESIGN.



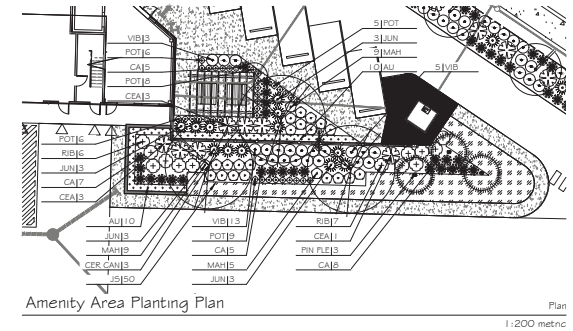
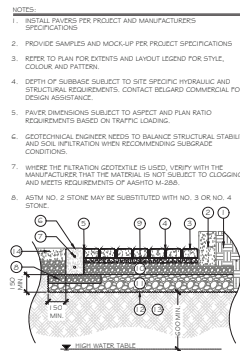


PLANT LEGEND

SYMBOL	BOTANICAL / COMMON NAME	SIZE	SPACING	QTY.	NOTES/ WILDLIFE INTERFACE*
TREES					
ACE MAC	ACER MACROPHYLLUM BIG LEAF MAPLE	#15 POT	SEE PLAN	1	NATIVE SPECIES
ACE RUB	ACER RUBRUM 'BOWHALL' BOWHALL RED MAPLE	#15 POT	9m O.C.	6	DROUGHT TOLERANT, STREET TREE
CER CAN	CERCIS CANADENSIS EASTERN REDBUD	#25 POT	7m O.C.	3	NATIVE CANADIAN SPP., FLOWERING
COR EDD	CORNUS 'EDDIES WHITE WONDER' EDDIES WHITE WONDER DOGWOOD	#4B 4cm	7.5m O.C.	3	NATIVE CULTIVAR, FLOWERING
CRA DOU	CRATAEGUS DOUGLASII BLACK HAWTHORN	#7 POT	3m O.C.	5	NATIVE SPECIES, FRUIT BEARING, FLOWERING
FIN FLE	FINUS FLEXILIS 'PYRAMID' PYRAMID LUMBER FINE	#7 POT 1.2m	4m O.C./ 8m O.C./	8	NATIVE CULTIVAR, CONIFEROUS
PSE MEN	PSEUDOTSUGA MENZIESII DOUGLAS FIR	#20 POT	4.5m O.C.	6	NATIVE SPECIES, CONIFEROUS
SHRUBS					
AME	AMELANCHIER ALNIFOLIA SASKATOON	#1 POT	2m O.C.	16	NATIVE SPECIES, DECIDUOUS, FRUIT BEARING, FLOWERING
CEA	CEANOTHUS THYRSIFLORUS 'VICTORIA' VICTORIA CALIFORNIA LILAC	#3 POT	1.5m O.C.	46	DROUGHT TOLERANT, EVERGREEN, FLOWERING
HOL	HOLDOUSCUS DISCOLOR OCEANSPRAY	#2 POT	1.2m O.C.	17	NATIVE SPECIES, FRUIT BEARING, DECIDUOUS, FLOWERING
JUN	JUNIPERUS SCOPULORUM MOONGLOW MOONGLOW JUNIPER	#5 POT	1.2m O.C.	27	DROUGHT TOLERANT, CONIFEROUS
MAH	MAHONIA AQUIFOLIUM OREGON GRAPE	#1 POT	1m O.C.	30	NATIVE SPECIES, FRUIT BEARING, EVERGREEN, FLOWERING
POT	POTENTILLA FRUITICOSA MANGO TANGO, ORANGE SHRUBBY CINQUEFOIL	#1 POT	0.6m O.C.	95	NATIVE CULTIVAR, SEMI-EVERGREEN, FLOWERING
RIB	RIBES SANGUINUM RED FLOWERING CURRANT	#2 POT	1.2m O.C.	42	NATIVE SPECIES, FRUIT BEARING, DECIDUOUS, FLOWERING
ROS	ROSA NUTKANA NUTKANA ROSE	#1 POT	1.0m O.C.	108	NATIVE SPECIES, FRUIT BEARING, DECIDUOUS, FLOWERING
VIB	VIBURNUM TIBUS 'SPRING BOUQUET' SPRING BOUQUET LAURUSTINUS	#2 POT	1m O.C.	101	DROUGHT TOLERANT, EVERGREEN, FLOWERING
GROUNDCOVER, VINES & PERENNIALS					
AU	ARCTOSTAPHYLOS UVA-URS KINKINICK	#1 POT	0.9m O.C.	210	NATIVE SPECIES, FRUIT BEARING, EVERGREEN, FLOWERING
CA	CALAMAGOSTIS ACUTIFOLIA KARL FOERSTER KARL FOERSTER FEATHER REED GRASS	#1 POT	0.9m O.C.	89	DROUGHT TOLERANT
JS	JUNIPERUS SQUALMATA HOLLER HOLLER SINGLESEED JUNIPER	#1 POT	1.2m O.C.	210	DROUGHT TOLERANT, FRUIT BEARING, CONIFEROUS
SEED	HYDRASEED	SEED		110m ²	

TREE REPLACEMENT SUMMARY

- REFER TO TREE MANAGEMENT PLAN PREPARED BY NEWCASTLE ENGINEERING LTD. FOR ADDITIONAL INFORMATION.
- REPLACEMENT TREES PROVIDED: 53
- REPLACEMENT TREES PROVIDED: 32
- 44% (14 OF 32) OF THE PROPOSED TREE SPECIES ARE CONIFEROUS SPECIES.



PLANTING NOTES

- ALL LANDSCAPE INSTALLATION AND MAINTENANCE SHALL MEET OR EXCEED THE MOST RECENT STANDARDS SET OUT BY THE CANADIAN NURSERY LANDSCAPE ASSOCIATION (CNLA) CANADIAN SOCIETY OF LANDSCAPE ARCHITECTS (CSLA) CANADIAN LANDSCAPE STANDARD AND PROJECT SPECIFICATIONS.
- LANDSCAPE MAINTENANCE SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS SET OUT IN TABLE 1-14.2. MAINTENANCE LEVELS - LEVEL 2 GROOMED OF THE CANADIAN LANDSCAPE STANDARD, REFER TO SPECIFICATIONS.
- ESTABLISHMENT MAINTENANCE SHALL MEET THE REQUIREMENTS SET OUT IN SECTION 1.3 ESTABLISHMENT MAINTENANCE OF THE CANADIAN LANDSCAPE STANDARD. ALL PROPOSED PLANT MATERIAL SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE ONE YEAR MAINTENANCE PERIOD FROM THE TIME OF SUBSTANTIAL COMPLETION TO ENSURE PLANT ESTABLISHMENT AND TO MAINTAIN PLANT VIGOR, REFER TO SPECIFICATIONS.
- THE IRRIGATION SYSTEM SHALL BE OPERATIONAL AND COVERAGE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO THE INSTALLATION OF PLANT MATERIAL.
- PLANT QUANTITIES ARE FOR INFORMATION ONLY. IN CASE OF ANY DISCREPANCY THE PLAN SHALL GOVERN.
- PROVIDE MINIMUM SLOPE OF 2% FOR DRAINAGE IN ALL PLANTED AREAS.
- THE FINISHED GRADE OF ALL PLANTERS SHALL BE 75mm BELOW THE TOP OF CURB OR ADJACENT HARDSCAPE.
- ALL PLANT MATERIAL SHALL MATCH SPECIES AS INDICATED ON THE PLANT LEGEND. PLANT MATERIAL QUALITY, TRANSPORT AND HANDLING SHALL COMPLY WITH CANADIAN STANDARDS FOR NURSERY STOCK.
- THE CONTRACTOR SHALL SECURE PLANT MATERIAL AS SPECIFIED AT LEAST 2 WEEKS PRIOR TO ANTICIPATED PLANTING TIME. CONTACT THE LANDSCAPE ARCHITECT FOR APPROVAL OF ANY SUBSTITUTIONS. NO SUBSTITUTIONS WILL BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
- TREE LOCATIONS SHALL BE FIELD STAKED AND LOCATIONS APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING. TREE LOCATIONS MAY BE ADJUSTED IN THE FIELD TO SUIT THE SITE REQUIREMENTS AS DIRECTED BY THE LANDSCAPE ARCHITECT.
- CHECK FOR LOCATIONS OF WATER LINES AND OTHER UNDERGROUND SERVICES PRIOR TO DIGGING PLANTING PITS. EXCAVATED PLANT PITS SHALL HAVE POSITIVE DRAINAGE. PLANT PITS WHEN FULLY FLOODED WITH WATER SHALL DRAIN WITHIN ONE HOUR AFTER FILLING.
- INSPECT ALL ASSEMBLED PLANT MATERIAL AT THE NURSERY PRIOR TO SHIPPING. PLANT MATERIAL SHALL BE INSPECTED BY THE LANDSCAPE ARCHITECT ON-SITE PRIOR TO PLANTING. NO PLANTS REQUIRING PRUNING OF MAJOR BRANCHES DUE TO DISEASE, DAMAGE OR POOR FORM WILL BE ACCEPTED.
- REFER TO PLANT LEGEND, SPECIFICATIONS AND DETAILS FOR ADDITIONAL INFORMATION.
- THE LANDSCAPE ARCHITECT CANNOT PROVIDE ASSURANCES FOR WORK WITHOUT THE FOLLOWING FIELD REVIEW ATTENDANCE:
 - REVIEW OF SUBGRADE PRIOR TO GROWING MEDIUM INSTALLATION.
 - REVIEW OF TREE LOCATIONS (STAKED).
 - REVIEW OF PLANT MATERIAL PRIOR TO INSTALLATION.
 - REVIEW OF SOIL SAMPLE ANALYSIS.
 - REVIEW OF INSTALLED PLANT MATERIAL.

GROWING MEDIUM AND MULCH

- PROPERTIES FOR GROWING MEDIUM SHALL MEET OR EXCEED SPECIFICATION SECTION 329.1.3 SOIL PREPARATION FOR:
 - LEVEL 2 "GROOMED" AREAS:
 - GROWING MEDIUM TYPES: 2P (PLANTING AREAS)
 - SOIL DEPTHS:
 - SEED - 100mm (4")
 - SHRUBS - 450mm (18")
 - TREES - 1 cu.m. PER TREE/ 600mm (24") BELOW AND AROUND ROOTBALL
- ON-SITE TOPSOIL MAY BE STRIPPED, STOCKPILED AND AMENDED TO MEET THE STANDARDS ABOVE.
- SUBMIT A (W) LITRE SAMPLE OF SCREENED TOPSOIL PROPOSED FOR USE AS A BASIS FOR GROWING MEDIUM TO A SOIL ANALYSIS LAB APPROVED BY THE LANDSCAPE ARCHITECT. REFER TO SPECIFICATION SECTION 329.1.3. SOIL TESTING SHALL BE AT THE CONTRACTORS EXPENSE.
- INDICATE TO THE SOIL LAB THAT THE PURPOSE OF THE ANALYSIS AND AMENDMENT RECOMMENDATIONS IS FOR LEVEL 2P - PLANTING AREAS.
- AMENDMENT RECOMMENDATIONS BY THE SOIL ANALYSIS LAB SHALL BE THE BASIS FOR ACCEPTANCE OF THE GROWING MEDIUM. RETAIN EVIDENCE OF ALL AMENDMENTS ADDED TO THE TOPSOIL.
- MULCH SHALL BE COMPOST, REFER TO SPECIFICATIONS.
- MULCH DEPTH SHALL BE 75mm MINIMUM.



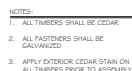
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4951 Jordan Avenue
Hazelwood Holdings Ltd.
Nanaimo, BC

LEGEND, NOTES & DETAILS

Date:	July 9, 2026
Drawn:	ON
Checked:	CN
Scale:	AS NOTED
Project Number:	25-0374
DRAWING NUMBER:	L2 of 5

#	Date	NOTES
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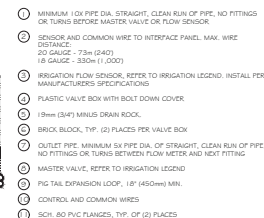
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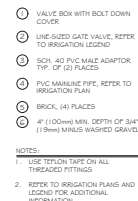
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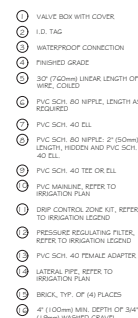
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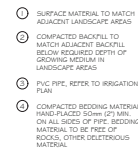
Not To Scale



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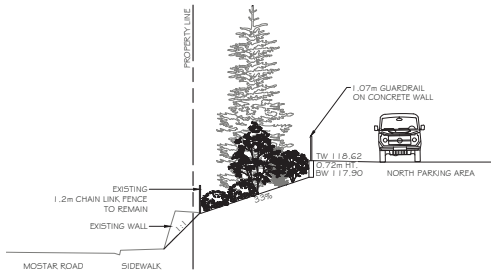
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DRAWING NUMBER: 14 of 5

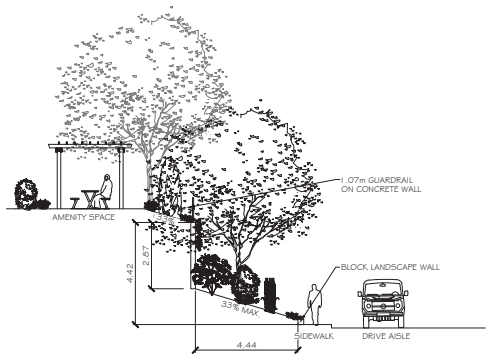
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2	15SEP2025	Issued for DP
3	18SEP2025	Issued for DP
4	21MAY2026	DP/BP Coordination
5	03JUN2026	Reissued for DP
6	04JUN2026	Reissued for DP
7	18JUN2026	Issued for BP
8	09JUL2026	Reissued for DP & BP



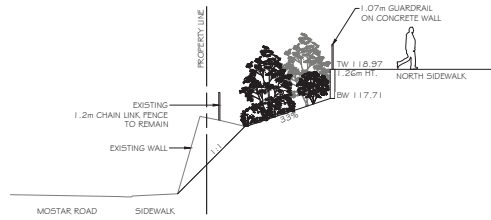
Section A-A
Mostar Road Frontage at North Parking Area
1:100 metric



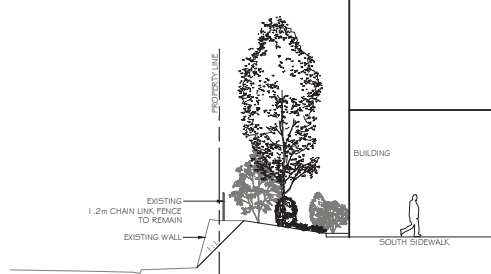
Section C-C
Mostar Road Frontage at Building
1:100 metric



Section E-E
Amenity Space and Walls Outside of Setback
1:100 metric



Section B-B
Mostar Road Frontage at North Sidewalk
1:100 metric



Section D-D
Mostar Road Frontage at South Sidewalk
1:100 metric

IRRIGATION EQUIPMENT LEGEND

SYMBOL	MANUFACTURER	MODEL	DESCRIPTION
	TBD	TBD	W-PI AUTOMATIC IRRIGATION CONTROLLER IN MECHANICAL ROOM
	PER MECHANICAL	PER MECHANICAL	38mm (1.5") DOUBLE CHECK BACKFLOW PREVENTER AND WATER SUPPLY IN MECHANICAL ROOM.
		SCHEDULE 40	38mm (1.5") PVC MAINLINE
		SCHEDULE 40	PVC SLEEVES UNDER ALL PAVING AND THROUGH WALLS MIN. - TYP (EXACT LOCATION TBD): MAINLINE & CONTROL WIRE: 1.50mm (6") LATERALS: 1.00mm (4") BURIAL DEPTH TO MATCH DEPTH OF CARRIED PIPE.

IRRIGATION NOTES

- IRRIGATION SYSTEM INSTALLATION SHALL MEET OR EXCEED THE REQUIREMENTS SET OUT IN THE MOST CURRENT VERSION OF THE CANADIAN NURSERY LANDSCAPE ASSOCIATION (CNLA) / CANADIAN SOCIETY OF LANDSCAPE ARCHITECTS (CSLA) CANADIAN LANDSCAPE STANDARD.
- ALL PROPOSED ON-SITE PLANTING AND LAWN AREAS SHALL BE WATERED VIA AN UNDERGROUND, AUTOMATIC IRRIGATION SYSTEM UTILIZING A "SMART" (ET) WEATHER-BASED IRRIGATION CONTROLLER.
- IRRIGATION EMISSION DEVICES SHALL BE LOW VOLUME ROTARY NOZZLES OR MICRO DRIP EQUIPMENT.
- THE CONTRACTOR SHALL ADJUST THE PLACEMENT AND RADIUS OF SPRINKLERS AS REQUIRED BY FIELD CONDITIONS TO ACHIEVE FULL COVERAGE OF ALL PLANTED AREAS AND TO MINIMIZE OVER-SPRAY ONTO ADJACENT HARD SURFACES, FENCES AND PROPERTY LINES.
- ALL PIPING UNDER PAVING SHALL BE INSTALLED IN SEPARATE SCHEDULE 40 SLEEVES AT A MINIMUM DEPTH OF 600mm WITH 150mm OF SAND BACKFILL ABOVE AND BELOW PIPE. ALL WIRING UNDER PAVING SHALL BE INSTALLED IN SEPARATE SCHEDULE 40 PVC CONDUIT. ALL SLEEVES AND CONDUIT SHALL BE INSTALLED PRIOR TO PAVEMENT INSTALLATION AND SHALL EXTEND 150mm BEYOND EDGE OF PAVEMENT OR CURB. BACKFILL FOR SLEEVES SHALL BE COMPACTED TO THE SPECIFIED DENSITY FOR THE SUBGRADE.
- OPERATE IRRIGATION CONTROLLER WITHIN THE CITY OF NANAIMO WATER RESTRICTION SCHEDULE.

FORM & CHARACTER DESIGN GUIDELINE SUMMARY

GUIDELINE #	RESPONSE
2.4.1.1	450mm OF ABSORBENT SOIL WILL BE PROVIDED IN SHRUB PLANTING AREAS. REFER TO CIVIL PLANS & REPORT FOR STORMWATER CAPTURE & DETENTION.
2.4.1.2	THE EXISTING NATURAL FEATURES, TREES AND VEGETATION ALONG THE JORDAN AVENUE PARK BOUNDARY WILL BE RETAINED IN ESSENCE EXTENDING THE PARK SETTING INTO THE SITE.
2.4.1.3	THE USERS OF THIS INDUSTRIAL SITE WILL BE INTERACTING IN A FUNCTIONAL MANNER. AN AMENITY SPACE IS LOCATED ON THE EAST SIDE OF THE BUILDING INCORPORATES A PERGOLA WITH PICNIC TABLES, BOLLARD LIGHTING AND TREE & SHRUB PLANTING THAT WILL ALLOW EMPLOYEES TO INTERACT WITH THE SITE.
2.4.1.4	THE AMENITY PATIO AND SIDEWALKS WILL BE DURABLE CONCRETE PAVING. SITE FURNISHINGS ARE MANUFACTURED LOCALLY AND INCORPORATE RECYCLED MATERIALS.
2.4.1.5	A PROJECT SIGN IS LOCATED AT THE MAIN ENTRANCE TO THE NORTH. ONCE ON SITE, WAYFINDING IS SIMPLE WITH ACCESS TO THE BUILDING FROM ALL OF THE UPPER PARKING AREAS. OVERHEAD LIGHTING IS PROVIDED IN PARKING AREAS.
2.4.1.6	N/A
2.4.1.7	N/A
2.4.1.8	N/A
2.4.2.1	PLANT SELECTIONS WERE CHOSEN FOR THEIR DURABILITY, ADAPTABILITY TO AN URBAN ENVIRONMENT, LOW MAINTENANCE REQUIREMENTS, DROUGHT TOLERANCE AND COMPATIBLY WITH SURROUNDING LANDSCAPES. NATIVE FRUIT BEARING PLANTS ARE USED TO PROVIDE HABITAT AND TO EXTEND THE ADJACENT PARK SETTING INTO THE SITE. SHADE TREES ARE PROVIDED ADJACENT TO THE AMENITY SPACE. ORNAMENTAL GRASS AND FLOWERING PLANTS ARE LOCATED AT SITE ACCESS POINTS.
2.4.2.2	27% OF THE SITE IS EXISTING AND PROPOSED SOFT LANDSCAPE. CONCRETE SURFACES WILL REFLECT LIGHT. EVERGREEN TREES ARE PLANTED ALONG THE WEST SIDE OF THE BUILDING FOR SHADE. DECIDUOUS SHADE TREES ARE PLANTED ADJACENT TO THE OUTDOOR AMENITY AREA FOR SEASONAL SHADE AND SOLAR ACCESS IN COOLER MONTHS.
2.4.2.3	52% OF THE PLANTS SPECIFIED ARE NATIVE SPECIES OR NATIVE CULTIVARS. PLANT CHARACTERISTICS INCLUDING FRUIT BEARING AND FLOWERING (POLLINATOR HABITAT) ARE NOTED IN THE PLANT LEGEND.
2.4.2.4	44% OF THE TREE PLANTING IS EVERGREEN. TREE SELECTIONS AND LOCATIONS WERE CHOSEN FOR THEIR COMPATIBILITY WITH THE INDUSTRIAL USE OF SITE AND AVAILABLE SOIL VOLUMES AS REQUIRED IN GUIDELINE 2.4.2.1. OVERALL OVER 73% OF THE TREE AND SHRUB PLANTING IS EVERGREEN/ CONIFEROUS THAT WILL MAINTAIN GREENERY IN ALL SEASONS.
2.4.2.5	TREE AND SHRUB SELECTIONS AND LOCATIONS WERE CHOSEN FOR THEIR COMPATIBILITY WITH THE INDUSTRIAL USE OF SITE AND AVAILABLE SOIL VOLUMES AS REQUIRED IN GUIDELINE 2.4.2.1. THE PLANTING ALONG THE JORDAN AVENUE FRONTAGE IS INTENDED TO BE MAINTAINED AS A HEDGE. LAWN AND GROUNDCOVER PLANTING ARE PROPOSED ALONG THE JORDAN AVENUE TO MOSTAR ROAD SIDEWALK WHERE IT CAN BE EASILY TERMINED ALONG PEDESTRIAN ROUTES. TREE CANOPIES ARE SHOWN AT MATURITY AND WILL NOT ENDOURCH INTO PEDESTRIAN REALMS.
2.4.2.6	PLANTINGS PROPOSED ADJACENT TO WALKWAYS WILL NOT DROP FRUIT OR SEEDS.
2.4.2.7	PLANT CHARACTERISTICS ARE NOTED IN THE PLANT LEGEND.
2.4.2.8	PLANT SPACING IS BASED ON MATURE PLANT SIZES. PLANTS ADJACENT TO PARKING AREAS ARE SUITABLE FOR HEDGING AND CAN BE MAINTAINED AS SUCH TO PROVIDE CLEARANCES FOR VEHICLES.
2.4.2.9	A DECORATIVE STONE/CASE FEATURE WITH LANDSCAPE BOULDERS IS PROPOSED AT THE CORNER OF JORDAN AVENUE & MOSTAR ROAD WHERE GROUNDCOVER WILL CREEP BETWEEN THE ROCKS OVER TIME. ARTIFICIAL TURF IS NOT PROPOSED.
2.4.2.10	STREET TREES AND A VEGETATIVE SCREEN ARE PROPOSED ALONG THE JORDAN AVENUE FRONTAGE. THE MOSTAR ROAD/JORDAN AVENUE CORNER INCORPORATES LARGE AND SMALL NATIVE FOREST TREE SPECIES WITH A MIX OF EVERGREEN GROUNDCOVER AND DECIDUOUS & EVERGREEN FLOWERING SHRUBS.
2.4.2.11	OUR CASCADING BEARBERRY IS USED ALONG THE TOP OF RETAINING WALLS.
2.4.2.12	7.5m OF EXISTING NATURAL FEATURES, TREES AND VEGETATION ALONG THE JORDAN AVENUE PARK BOUNDARY WILL BE RETAINED IN ESSENCE EXTENDING THE PARK SETTING INTO THE SITE.
2.4.2.13	CONIFEROUS TREE PLANTING AND HYDROSEED ARE PROPOSED WHERE SITE DISTURBANCE OCCURS BETWEEN THE SITE, PARK AND ADJACENT INDUSTRIAL USE. THIS WILL MIMIC THE EXISTING CONDITION AT THE PARK INTERFACE.
2.4.2.14	ROOT ZONE PROTECTION IS SHOWN ON THE LANDSCAPE ARCHITECTURE PLAN. REFER TO THE TMP PREPARED BY NEWCASTLE ENGINEERING LTD. FOR ADDITIONAL INFORMATION.
2.4.2.15	NOTED IN THE PLANTING NOTES.
2.4.3.1	REFER TO DETAIL A ON L2 FOR THE GARBAGE ENCLOSURE DETAIL. ENCLOSURE IS 2m HIGH TIMBER CONSTRUCTION WITH LOCKING GATES.
2.4.3.2	THE ENCLOSURE HAS THREE LOCKING GATES FOR THREE STREAMS OF WASTE.
2.4.3.3	N/A
2.4.3.4	SITE PLAN BY OTHERS.
2.4.3.5	MAINTENANCE AND OPERATIONS OF WASTE AREAS BY OWNER.
2.4.4.1	DARK SKY COMPLIANT (FULL CUT OFF, FLAT LENS) OVERHEAD AND BOLLARD LIGHTING IS SHOWN ON THE PLAN AND IN THE LAYOUT LEGEND. LIGHTING OF THE SITE WILL SERVE THE FUNCTION OF THE INDUSTRIAL USE.
2.4.4.2	BY OTHERS.
2.4.4.3	OVERHEAD LIGHTS ARE SHOWN ADJACENT TO SITE ENTRANCES AND PARKING AREAS AND BOLLARD LIGHTS ARE PROPOSED AT THE AMENITY SPACE. LIGHTING LOCATIONS ARE INTERIOR TO THE SITE AND WILL NOT SPILL INTO ADJACENT SITES. ALL OTHER SITE LIGHTING WILL COME FROM THE BUILDING.
2.4.4.4	SPECIFIC LIGHT FIXTURE HEIGHTS WILL BE SELECTED BY THE PROJECT ELECTRICAL ENGINEER FOR THE INDUSTRIAL USE OF THE SITE.
2.4.4.5	EFFICIENT LED LIGHTING IS NOTED IN THE LAYOUT LEGEND. PHOTOCELLS WILL BE SPECIFIED BY THE PROJECT ELECTRICAL ENGINEER.

SECTION 3.6 INDUSTRIAL LANDS, 3.6.3 SITE & LANDSCAPE DESIGN

3.6.3.1	PLANT SELECTIONS ARE LOW MAINTENANCE AND DROUGHT TOLERANT.
3.6.3.2	THE PUBLIC REALM IS ENHANCED WITH THE EXTENSIVE LANDSCAPING PROPOSED ALONG MOSTAR ROAD, JORDAN AVENUE AND THE RETENTION AREA ADJACENT TO JORDAN AVENUE PARK ALONG TO THE SOUTH OF THE SITE.
3.6.3.3	A 7.5m BUFFER IS BEING RETAINED BETWEEN THE SITE AND JORDAN AVENUE PARK.
3.6.3.4	SITE PLAN BY OTHERS.
3.6.3.5	SITE PLAN BY OTHERS.
3.6.3.6	AN AMENITY SPACE IS LOCATED ON THE EAST SIDE OF THE BUILDING.
3.6.3.7	THE GARBAGE ENCLOSURE IS 2m HIGH TIMBER CONSTRUCTION WITH LOCKING GATES. LIGHTING LOCATIONS ARE INTERIOR TO THE SITE AND WILL BE SCREENED FROM THE PUBLIC REALM.



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SECTIONS & NOTES

Date:	June 4, 2026
Drawn:	ON
Checked:	CW
Scale:	N/A
Project Number:	25-0374
DRAWING NUMBER:	L3 of 3

#	REVISION	SCHEDULE	NOTES
0	27 AUG 2025	DP Coordination	
1	10 SEP 2025	Draft DP	
2	15 SEP 2025	Issued for DP	
3	18 SEP 2025	Issued for DP	
4	21 MAY 2026	DP / BP Coordination	
5	03 JUN 2026	Reissued for DP	
6	04 JUN 2026	Reissued for DP	

RECEIVED
DP1403
2026-JUN-12
Current Planning